



## Intro



Date of Visit

Location Name

Representative

## Exterior

As you pulled into the property or drove past the location was it welcoming?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was the property signage and directionals well maintained and identifiable?

- Excellent

- Above Average
- Good
- Below Average
- Poor
- NA

Was there a marketing incentive visible to entice a renter to schedule a tour on the exterior grounds or building. Example: Signa that said one month FREE rent.

- Yes
- No

Was the landscaping tasteful, well maintained and free of debris.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA (Hi-rise)

Sidewalk condition

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were you able to find the leasing office easily as you pulled onto the property.

- Excellent
- Above Average
- Good
- Below Average

- Poor
- NA (Hi-rise)

Was the leasing office signage well maintained?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA (Hi-rise)

Was there reserved parking space for Future Residents or an area identified for leasing office parking?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Did the property have handicapped parking options?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were curbs, driveways, steps, walkways, clean, in good condition, and free of litter?

- Excellent
- Above Average
- Good

- Below Average
- Poor
- NA

Parking areas free of disabled cars, boats, RV's

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were the overall buildings exterior condition clean, in good condition, and free of litter?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were balconies and terraces well maintained, clean

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Building Siding/Brick/Painted surface, fresh without damage and clean

- Excellent
- Above Average
- Good

- Below Average
- Poor
- NA

Windows clean

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Fencing straight and clean

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Exterior Amenities well maintained, clean and free of litter

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Curbs, fire lanes clearly marked

- Excellent
- Above Average
- Good

- Below Average
- Poor
- NA

Asphalt maintained with no visible potholes

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA (Hi-rise)

Sidewalk condition

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Speed bumps clearly marked

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA (Hi-rise)

Overall, did the signage allow you to navigate the community and see all of its benefits?

- Excellent
- Above Average
- Good

- Below Average
- Poor
- NA (Hi-rise)

Based on the architectural qualities how likely are you to schedule a tour of the community?

- Very Likely
- Likely
- Maybe
- Not Likely
- Not Happening

**NOTES (detail any thing that was less than Excellent):**

**Common Area Inspection**

Entrance mats clean and stain free, windows clean

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Lobby flooring neat, vacuumed

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Walls in good condition with fresh paint and maintained wall paper

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Lighting operational and with same lightbulb hues-warm versus cool

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Door hardware in working order

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA



Call box and entry system maintained, operational and signage easy to follow

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Entry area clearly marked

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

**NOTES (detail any thing that was less than Excellent):**

**Amenity Area Inspection**

Advanced technology initiatives such as smart-home, keyless entry, card readers, energy saving appliances, low flush toilets, programmable advancements were they available at the

property?

- Yes
- No

Did the property have WIFI advertised throughout the community?

- Yes
- No

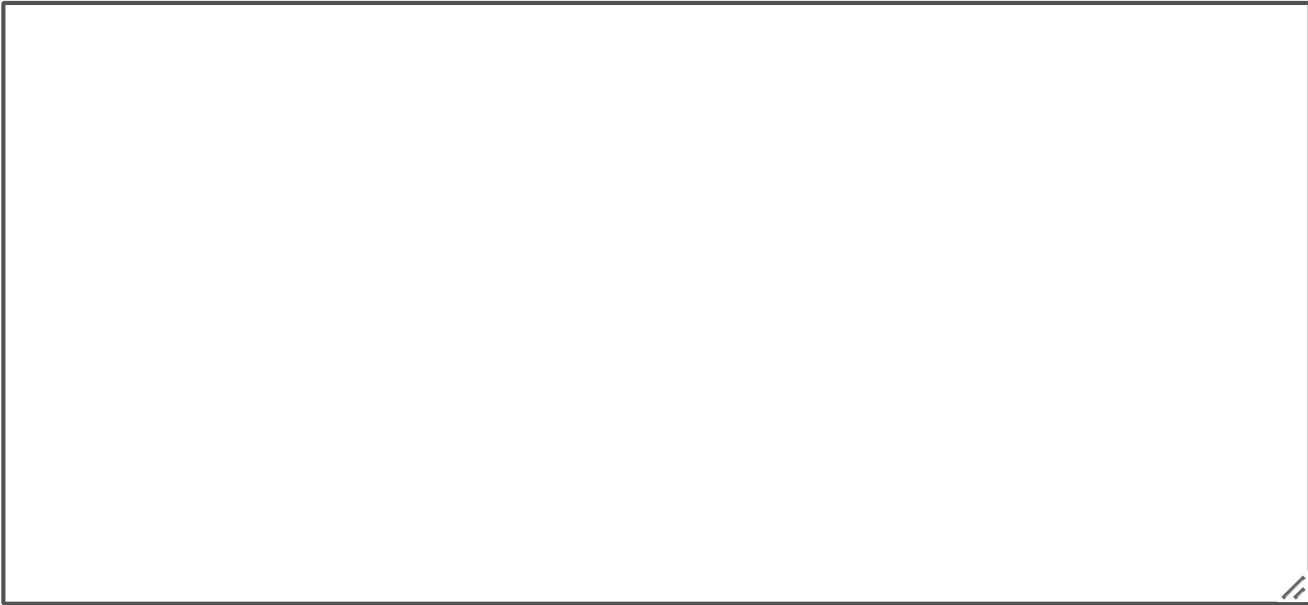
Were common area laundry facilities in good condition, clean and in working order, free of litter

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were indoor/outdoor common area amenities, such as clubhouse, fitness centers, pools, tennis courts, dog parks, dog washing stations, roof-tops, etc. in good condition, clean, in working order, and free of debris

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

**NOTES (detail any thing that was less than Excellent):**



### Make Ready Apartment Inspection

Kitchen sink, fixtures, door pulls, counters, cabinets, and appliances clean and maintained.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Bathroom sink, counters, toilet, fixtures, cabinets, door pulls clean and maintained.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Kitchen caulking

- Excellent
- Above Average
- Good

- Below Average
- Poor
- NA

Bathroom caulking

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Kitchen floors clean with no broken tiles, or lifting of floor surfaces, no snags in laminate flooring.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Bathroom floors clean with no broken tiles, or lifting of floor surfaces, no snags in laminate flooring.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Flooring/carpeting throughout the apartment is clean and well maintained-without wear marks

- Excellent

- Above Average
- Good
- Below Average
- Poor
- NA

Apartment entrance door and jambs well maintained and freshly painted

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Interior walls freshly painted with no nail markings

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Windows and screens intact and operational

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Outlets, plates, and covers clean, not cracked, consistent color

- Excellent

- Above Average
- Good
- Below Average
- Poor
- NA

All lights in working order with matched color hue warm versus cool.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Light fixtures, fans, and bulbs clean and in working order

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Key access system in working order and organized

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Smoke detectors operational and with no low battery indicator

- Excellent

- Above Average
- Good
- Below Average
- Poor
- NA

**NOTES (detail any thing that was less than Excellent):**

**Maintenance Shop Inspection**

Swept, clean, and free of trash

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Well-organized and not cluttered

- Excellent
- Above Average
- Good
- Below Average

Poor

NA

Turn board/schedule posted and up to date

Excellent

Above Average

Good

Below Average

Poor

NA

Was the turn board a digital program?

Yes

No

Operational folders and vendor records filed and well organized

Excellent

Above Average

Good

Below Average

Poor

NA

Was the operations and vendor records a digital program?

Yes

No

Service requests logs organized and well maintained

Excellent

Above Average

Good



- Below Average
- Poor
- NA

Were the service requests tracked through a digital program?

- Yes
- No

Were Material Safety Data Sheets (MSDS) visible in the shop or office?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were the MSDS tracked digitally?

- Yes
- No

Was the shop painted and organized?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

On-site vehicles (golf carts, plow trucks, work carts) clean, free of litter and organized?

- Excellent
- Above Average

- Good
- Below Average
- Poor
- NA

Power equipment (snow blowers, lawn mowers, blowers) organized and fuel stored in an approved fire safe cabinet.

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were safety goggles and equipment available to be used as needed

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Did you recognize a first-aid kit and eye wash station?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were refrigerant and freon log books available for review?

- Excellent

- Above Average
- Good
- Below Average
- Poor
- NA

**NOTES (detail any thing that was less than Excellent):**

**Inventory Inspection**

Were all property parts organized on shelves?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Were parts labeled and organized by type or part number?

- Excellent
- Above Average
- Good
- Below Average

- Poor
- NA

Was a part tracking system used at the site either digitally, manually, or through a portable device?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was a preventative maintenance schedule available for review with scheduled tasks?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was the preventative maintenance schedule a digital program?

- Yes
- No

Was an HVAC filter change schedule available for review?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was the HVAC filter change schedule a digital program?

- Yes
- No

Was there an exterior lighting inspection program available at the property?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was the exterior light inspection program a digital program?

- Yes
- No

Was there a CO, smoke, fire alarm, and alarm inspection program available for review?

- Excellent
- Above Average
- Good
- Below Average
- Poor
- NA

Was the CO, smoke, fire alarm, and alarm inspection program a digital program?

- Yes
- No

Was a community emergency evacuation plan available for review?

- Yes

No

Was the maintenance team dressed in uniform with an identifiable badge?

Yes

No

**NOTES (detail any thing that was less than Excellent):**

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