

C Consultants LLC

For Manufacturers and Installers

Installer's Report

- Updated form c
- General Staff
 - DOS form
 - Name and add
 - Quarterly repoi

C Consultants LLC

For Manufacturers and Installers

Warranty Seal Report Form

Please select the type of warranty report to be submitted.*

- Installer's Quarterly Warranty Seal Report
- Manufacturer's Quarterly Warranty Seal Report
- Manufacturer's Monthly Warranty Seal Report

Submit

Powered by AutoSIS Systems LLC

C Consultants LLC

For Manufacturers and Installers

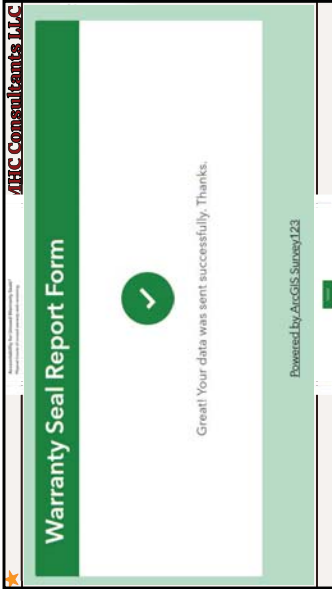
Warranty Seal Report Form

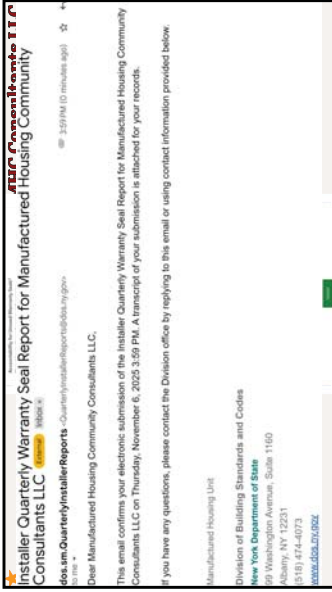
Please select the type of warranty report to be submitted.*

- Manufacturer's Quarterly Warranty Seal Report
- Manufacturer's Monthly Warranty Seal Report

Submit

Powered by AutoSIS Systems LLC







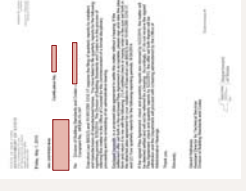
Installer's Reporting

- Postmarked by date indicated
- USPS
 - Priority Mail
 - Certified Mail

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Enforcement Actions

- Failure to file Quarterly Report
- Violation Article 21-B
- Plea Agreement Settlement Letter
 - Fine amount \$100
 - Returned by indicated date – case closed
 - Failure or request for hearing then*
- Referred to Office of Administrative Hearings
 - Fine increased!!!
 - OAH moves ahead this hearing process



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Condition of Certification

... shall be deemed to agree

- (1) to submit to the jurisdiction of the DOS
- (2) to accept service of any notice, complaint, or other paper provided by the DOS
- (3) be bound by any consent order, decision, or final decision and order made

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Dispute Resolution Process

Department of State Review

- Complaint valid or not
- Notification to parties involved
- Parties have 30 days to respond to DOS notification (1210.18(e))

Informal Resolution

- The Codes Div. shall be permitted, but not required, to attempt to resolve any complaint informally
- Process may be commenced at any time after complaint filed

Informal Resolution

- If Codes Div. elects out or attempts are unsuccessful, referred to Office of Administrative Hearings



Formal Resolution in front of a Law Judge

- Complainant v. Respondent



Formal Resolution in front of a Law Judge

- Complainant v. Respondent



Formal Resolution in front of a Law Judge

- Complainant v. Respondent
- Order compensation
- Apportion liability between multiple parties, where appropriate.

Formal Resolution in front of a Law Judge

- Complainant v. Respondent
- Order compensation
- Apportion liability between multiple parties, where appropriate.
- **Compensation shall not be limited to financial security amounts**

Appeal to the Secretary of State, Walter T. Mosley



Judicial Review

- Article 78 of Civil Practice Law and Rules
- New York Supreme Court
- Review agency actions
- Make determination



**Enforcement Actions
Civil Penalties**

- Violations of Executive Law 21-B
- or
- Violations of 24 CFR (as of July 14, 2025)
 - Up to **\$3,650** per single violation
 - Up to **\$4,562,282** for a series of related violations



Additional Enforcement Actions

- Sale of units to Uncert'd Retailer
- Business during Lapse of Cert
- Business while not Certified period
 - "Nothing...shall excuse any person or business entity required to be certified from the obligation of obtaining such certification."

Violations found during Retail Lot Audit

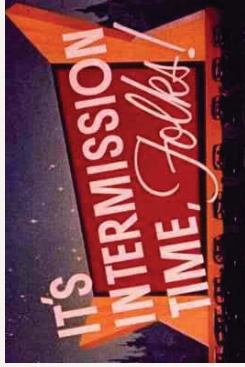
- Temporary Storage
- Dispute Notices
- Purchaser Cards
- Delivery Inspections
- Notifications to Manufacturer of complaints or non conformances

Violations found during Dispute Resolution

Additional action will be brought by DOS against the responsible party for any non-compliance concerning Manufacture, Sale, Installation or Service, *not related to original complaint.*

Suspension and Revocation of Certifications

- Substantial violation of Article 21-B or this Part
- Material misstatement in any application
- Fraud or fraudulent practices
- Dishonest or misleading advertising
- Untrustworthiness or incompetency
- Failed to comply with Article 21-B order
- Ceased to satisfy the financial responsibility
- Manufacturer ceased to be approved by HUD
- Failed to complete continuing education requirements





★



"If you don't have time to do it right, when will you have time to do it over?" - John Wooden

John Wooden is considered the greatest NCAA basketball coach of all time.

★ **MHC Consultants LLC**

**Residential Code, Appendix BA:
Manufactured Housing Used as Dwellings**

2020 Residential Code of New York State
Effective: May 12, 2020-December 30, 2025




★

New Code

2025 Uniform Code
Based on 2024 I-Codes Published
in State Register: 10/1/25
90 Day Transitional Period
Effective Date: 12/31/25



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UFPBC Update

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UFPBC Update

Changes to the 2025 Residential Code of New York State.

218

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UFPBC Update

The overall layout and appearance of the Uniform Code has been modified.

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UFPBC Update

APPENDIX BA MANUFACTURED HOUSING USED AS DWELLINGS

The appendices were reorganized and renamed to improve clarity and organization. Appendices related to building planning and construction were given the group B designation, and the Manufactured Housing appendix was renamed Appendix BA.

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220

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Make sure that when you use plans, they reference the 2025 RCNYS, not the 2020 RCNYS.



221

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Make sure that when you use plans, they reference the 2025 RCNYS, not the 2020 RCNYS.



222

Make sure that when you use plans, they reference the 2025 RCNYS, not the 2020 RCNYS.

CHAMPION HOMES
 1100 WEST 100TH STREET, SUITE 100
 NEW YORK, NY 11435
 (718) 335-1000
 INNOVATION IN HOME BUILDING
 1 OF 4

APPENDIX BA MANUFACTURED HOUSING USED AS DWELLINGS

Scope... applicable only to a *manufactured home used as a single dwelling* unit ...

- Foundations for Installation
- Connections to Services
- Alterations, additions, repairs or relocation
- Flood Zones

Residential Code, Appendix BA: BA102.5 Existing Occupancy

The use or occupancy of any existing manufactured home shall not be changed unless such change in use or occupancy is made to conform to all applicable provisions of this code. Upon any change in use or occupancy, the manufactured home shall cease to be classified as such

Modifications Complying with

Equal Whatever You Need

Residential Code, Appendix BA:
BA1027 Relocations

- Relocated manufactured homes "SHALL have a manufacturers label certifying compliance with applicable HUD Manufactured Home Construction and Safety Standards, and a data plate, affixed in the manufacturing facility..."



A statement "This manufactured home is designed to comply with the federal mobile home construction and safety standards in force at the time of manufacture." Reference to structural zone and wind zone. Data relative to the heating, insulation zone, and outdoor design temperature.



Relocation -Exception

- Mobile homes manufactured **BEFORE** June 15, 1976, need not comply with these provisions if they have been inspected by an agency or individual acceptable to the **building official** to determine that they are:
 - Structurally sound
 - Free of heating and electrical system hazards
- Written documentation signed by the agency or individual performing the inspection shall be submitted to the **building official**

**Residential Code, Appendix BA:
BA104 Permits and Inspections**

- Permit shall be obtained to install, alter, remodel, repair or add accessory buildings or structures to a manufactured home...

**Residential Code, Appendix BA:
BA 104 Permits and Inspections**

- Permit shall be obtained to install, alter, remodel, repair or add accessory buildings or structures to a manufactured home...
- Application for permit shall include the identity of the person or entity certified pursuant to Part 1210 or be obtained by the homeowner...

**Residential Code, Appendix BA:
BA 104 Permits and Inspections**

- Permit shall be obtained to install, alter, remodel, repair or add accessory buildings or structures to a manufactured home...
- Application for permit shall include the identity of the person or entity certified pursuant to **Part 1210** or be obtained by the homeowner...
- Work shall be inspected - including, but not limited to the foundation, support, anchorage, connection of multi-sectional homes, and building service equipment.

Residential Code, Appendix BA:
BA.103 Definitions

To partner with the definition in Article 21-b
· Manufactured Home Installation (and Setting), Construction that is required for the installation of a manufactured home, including the construction of the foundation system, required structural connections thereto and the installation of on-site water, gas, electrical and sewer systems and connections thereto that are necessary for the normal operation of the manufactured home.

Residential Code, Appendix BA:
BA.103 Definitions

To partner with the definition in Article 21-b
· Manufactured Home Installation (and Setting), Construction that is required for the installation of a manufactured home, including the construction of the foundation system, required structural connections thereto and the installation of on-site water, gas, electrical and sewer systems and

Article 21-b: Installation means "the affixation of a manufactured home to a foundation or supports at a building site; the assembly and fastening of structural components of ..."

I'm not installing it, I'm only moving, blocking and leveling...



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Residential Code, Appendix BA:
BA 112 Location on property

- MH and accessory buildings shall be located in accordance with R302.1 or any other law or regulation regarding separation distances (local laws/zoning ordinances)

The diagram shows a large rectangular building on the left and a smaller rectangular building on the right. A red double-headed arrow between them is labeled '10ft', indicating the required separation distance.

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Residential Code, Appendix BA:
BA 112 Location on property

- MH and accessory buildings shall be located in accordance with R302.1 or any other law or regulation regarding separation distances (local laws/zoning ordinances)

Such as perhaps Part 17.5 which requires 10' minimum spacing between homes and accessory buildings or structures

The diagram shows a large rectangular building on the left and a smaller rectangular building on the right. A red double-headed arrow between them is labeled '10ft', indicating the required separation distance.

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DOH Part 17.5

BA 112 Location on property

The diagram shows a large rectangular building on the left and a smaller rectangular building on the right. A red double-headed arrow between them is labeled '10ft', indicating the required separation distance. A dashed red line extends from the 10ft arrow to the right, suggesting a larger area of concern.

Residential Code, Appendix BA:
BA18

New Home Installation

- Install according to manufacturer's installation instructions

Residential Code, Appendix BA :
BA401

RELOCATED Home Installation

- Install according to manufacturer's installation instructions
- If not available...

Residential Code, Appendix BA:
BA18

RELOCATED Home Installation

- Install according to manufacturer's installation instructions
- If not available...
 - HUD Model Installation Standard (24-CFR-3286)



Residential Code, Appendix BA:
BA18

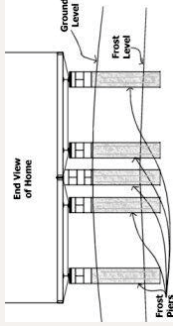
RELOCATED Home Installation

- Install according to manufacturer's installation instructions
- If not available...
 - HUD Model Installation Standard (24-CFR-3286)
 - NFPA 225 (2021) Manufactured Home Installation



Residential Code, Appendix BA:
BA14 Footings & Foundations

Footings and foundations shall be constructed...and in all cases shall extend below the frost line.



Residential Code, Appendix BA:
BA14 Footings & Foundations

Exception...Where a foundation system is designed by a registered design professional in accordance with the design requirements of the Manufactured Home Standards and the provisions of this code such that it will otherwise be protected from the effects of frost, such foundation system shall not be required to extend below the frost line.

All cast-in-place concrete shall be minimum 3,000 psi at 28 day compressive strength

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**Alternative Foundations
Additional Requirements**
Foundation Design

Before installer provides support or anchorage different than specified in the installation instructions ...installer must:

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**Alternative Foundations
Additional Requirements**
Foundation Design

Before installer provides support or anchorage different than specified in the installation instructions ...installer must:

1. Obtain DAPIA-approved designs and instructions prepared by manufacturer; or




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**Alternative Foundations
Additional Requirements**
Foundation Design

Before installer provides support or anchorage different than specified in the installation instructions ...installer must:

1. Obtain DAPIA-approved designs and instructions prepared by manufacturer; or

2. Obtain alternative design prepared by licensed design professional indicating support and anchorage consistent with MH design conforms to requirements of HUD Code **AND** has manufacturer and DAPIA approval.



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**Alternative Foundations
Additional Requirements**
Foundation Design

Before installer provides support or anchorage different than specified in the installation instructions...installer must:

1. Obtain DAPIA-approved designs and instructions prepared by manufacturer; or
2. Obtain alternative design prepared by licensed design professional indicating support and anchorage consistent with MH design conforms to requirements of HUD Code **AND has manufacturer and DAPIA approval.**

DAPIA Approval?

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**Residential Code, Appendix BA:
BA 118 Exits**

Exterior stairways and ramps...shall comply with BA102.2 and all other applicable provisions of this code

BA102.2 Additions.
R318 Means of Egress
Stairways, ramps...shall comply with this section
R321 Guards
Porches, stairways, ramps more than 30" above grade

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**Residential Code
R318.5 Attachment**

Required exterior stairs shall be positively anchored to the primary structure to resist both vertical and lateral forces
OR shall be designed to be self-supported

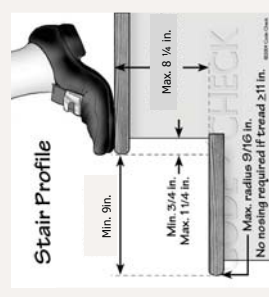
HUD Code requires porches to be?



- Residential Code**
R318.3 Landings at doors
- Landings are required "on each side of each exterior door"
 - Not less than the width of the door with a depth of 36"



- Residential Code**
R318.3.1 Landings at doors
- Landing not more than 1 1/2 inches lower than the threshold
 - Exception: Landing not more than 3/4 inches lower than the threshold, provided that the door does not swing over the landing



- Residential Code**
R318.7.1 R318.7.5.1 & R318.7.5.2 Stair measurement
- Minimum stair clear width: 36 inches
 - Maximum Riser height: 8 3/4 inches
 - Minimum tread depth: 9 inches
 - Shall not exceed the smallest by more than: 3/8 inch



Residential Code
R318.7.6 Landings for stairways

There shall be a floor landing at the top and bottom of each stairway.

Minimum 36" x 36"



Residential Code
R403.1.4 Minimum [Footings] depth

Unless protected from frost... supports of buildings and structures shall extend below the frost line

Exception: Deck not supported by a dwelling shall have a footing **not less than 12 inches below the undisturbed ground surface.**



Residential Code
R403.1.4 Minimum [Footings] depth

Unless protected from frost... supports of buildings and structures shall extend below the frost line


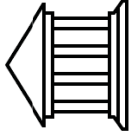
Exception: Deck not supported by a dwelling shall have a footing **not less than 12 inches below the undisturbed ground surface.**

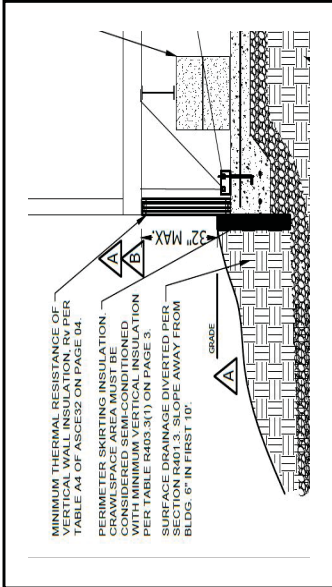


- open complaints.

- New complaints received since the beginning of this year.

- Complaints sent to the Office of Administrative Hearings for formal resolution. 12





NOTES:

- IF 6 IN. OR GREATER INSULATION MATERIAL IS USED FOR POSITIVE DRAINAGE AWAY FROM STRUCTURE, THE 6 IN. POLYETHYLENE VAPOUR BARRIER UNDER SLAB IS RECOMMENDED.
- FLOOR INSULATION SHALL BE 200 MM (8 IN.) OR DEVELOPING PASSIVE HEATING OF GARAGE SPACE AREA. FLOOR INSULATION CAN BE INSTALLED UNDER THE GARAGE SPACE OR UNDER THE DRIVEWAY WHEN THE DRIVEWAY WALL INSULATION REQUIREMENT PER SECTION 01050.00 IS MET.
- PROVIDE AN 8" X 4" MINIMUM GARAGE SPACE ACCESS IN SKIRTING.
- GARAGE SPACE CLEARANCE TO BE 12" MINIMUM BELOW BOTTOM OF FLOOR JOISTS TO SLAB (2" MINIMUM FROM BOTTOM OF MAIN BEAM).
- EXPOSED SKIRTING WALL HEIGHT SHALL BE 34" MINIMUM FROM GRADE TO BOTTOM OF FLOOR FRAMING. MAXIMUM BACKSET AGAINST EXTERIOR CONCRETE PARTS MATERIALS SHALL NOT EXCEED 12" FROM TOP OF SLAB. VAN LOSS GARAGE SPACE ENGINEERING SHALL BE INSTALLED.
- OPERABLE VENTS SHALL BE INSTALLED IN SKIRTING PER THE REQUIREMENTS OF IRC 1003. WITH A MINIMUM NET AREA OF VENTILATION AS DETERMINED BY A REGISTERED PROFESSIONAL ENGINEER. VENTS SHALL BE INSTALLED TO EXHAUST TO THE EXTERIOR AND SHALL BE CLOSED IN THE HEATING SEASON TO ENHANCE WARM AIR AND ASSIST IN FROST PREVENTION AND OTHERWISE OPEN TO VENT THE UNDER FLOOR AREA.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH COLD WEATHER EXPOSURE RATED (NOT PARAMETER). IF USED FOR USE IN WAC 88.01.02, BOTH WAYS EXTENDING OF ALL DIRECTIONS AND NOT BEING EXCEEDING 1200 U.S. GALLONS PER HOUR (LONGHUB PLAN).
- ALL INSULATION FOR USE IN BELOW GRADE FROST PROTECTION SHALL BE LABELED IN COMPLIANCE WITH ASTM A578. INSULATION CLASSIFICATION ON FROST SUSCEPTIBILITY AND MODIFICATIONS TO INSULATION REQUIREMENTS MUST BE DETERMINED BY A REGISTERED PROFESSIONAL ENGINEER. SOIL CONDITIONS AS INDICATED ARE INDICATIVE FOR SLAB INSTALLED ABOVE FROST LINE. CONTENT LESS THAN 20% TO FROST DEPTH. SOIL CONDITIONS AS INDICATED ARE INDICATIVE FOR SLAB INSTALLED ABOVE FROST LINE. ALTERNATE LATERAL SUPPORT SYSTEMS UTILIZING LATERAL CROSS BRACING SYSTEMS ARE PERMITTED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

ISC 2015 THRU 2024 & 2025 RCNYS FIGURE R403.3(1)

TABLE R403.3(1) - MINIMUM FOOTING DEPTH AND INSULATION REQUIREMENTS FOR FROST PROTECTED FOOTINGS IN UNHEATED BUILDINGS

AIR FREEZING INDEX	MIN. FOOTING DEPTH, D (IN)	VERTICAL INSULATION R-VALUE ¹	HORIZONTAL INSULATION R-VALUE ²	HORIZONTAL INSULATION AT CORNERS	HORIZONTAL INSULATION AT CORNERS	HORIZONTAL INSULATION AT CORNERS
1,500 OR LESS	12	4.5	1.7	4.3	12	24
2,000	14	5.5	2.7	5.3	18	30
2,500	16	6.5	3.7	6.3	24	36
3,000	18	7.5	4.7	7.3	30	42
3,500	20	8.5	5.7	8.3	36	48
4,000	22	9.5	6.7	9.3	42	54
4,500	24	10.5	7.7	10.3	48	60

NOTES:
 1. INSULATION SHALL BE INSTALLED ON THE EXTERIOR SURFACE OF THE FOOTING.
 2. INSULATION SHALL BE INSTALLED ON THE EXTERIOR SURFACE OF THE FOOTING.
 3. INSULATION SHALL BE INSTALLED ON THE EXTERIOR SURFACE OF THE FOOTING.
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1,500 OR LESS	12	4.5	1.7	4.3	12	24
2,000	14	5.5	2.7	5.3	18	30
2,500	16	6.5	3.7	6.3	24	36
3,000	18	7.5	4.7	7.3	30	42
3,500	20	8.5	5.7	8.3	36	48
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4,500	24	10.5	7.7	10.3	48	60

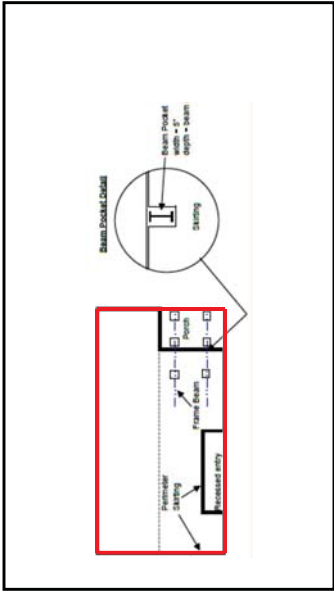
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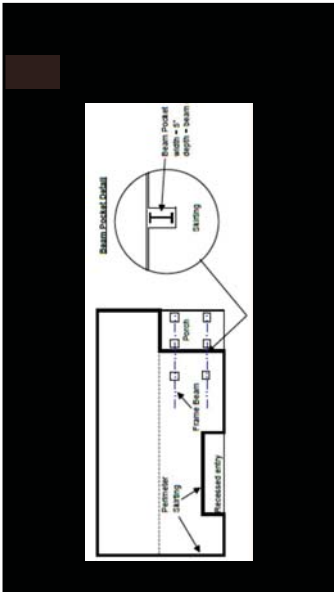
TABLE A1. MINIMUM THERMAL RESISTANCE OF VERTICAL WALL INSULATION, R_v (INTERPOLATED, MODIFIED)

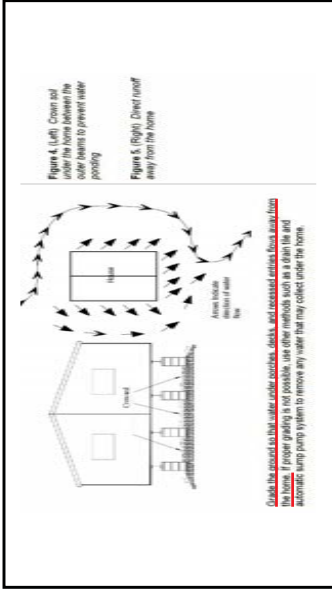
AIR FREEZING INDEX	R-11 FLOOR INSULATION H ≤ 12"	R-22 FLOOR INSULATION H ≤ 12"	R-28 FLOOR INSULATION H ≤ 12"	R-32 FLOOR INSULATION H ≤ 12"	R-32 FLOOR INSULATION H ≤ 12"	R-32 FLOOR INSULATION H ≤ 12"
1,500	5.2	5.7	7.2	8.0	8.5	11.4
2,000	5.5	6.3	7.6	8.5	8.5	13.3
2,500	5.9	6.8	7.6	9.0	8.9	14.6
3,000	6.3	7.3	8.4	12.2	9.7	15.3
3,500	6.8	8.0	9.3	13.1	10.8	16.4
4,000	7.5	9.0	10.6	14.4	12.1	17.8

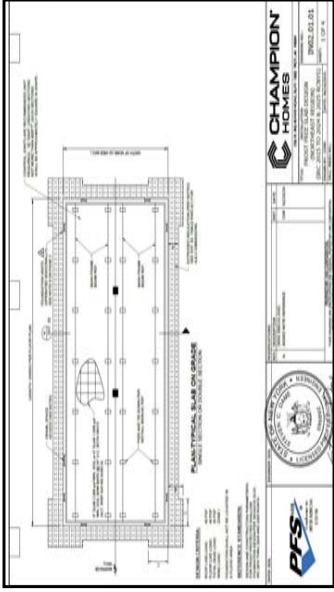
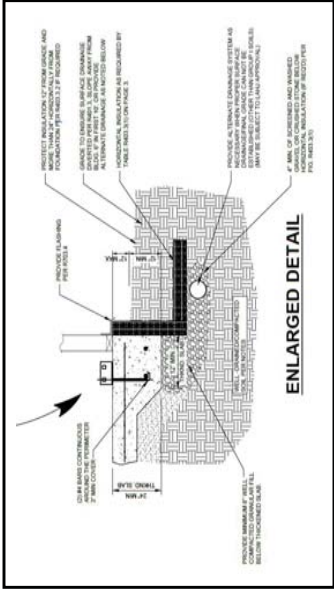
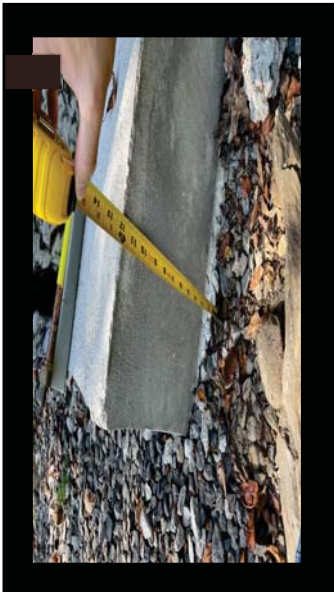
NOTES:
 1. EFFECTIVE INSULATION VALUE, R_{eff}, SHALL CONSIDER REDUCED R-VALUE BASED ON COMPRESSION OF FLOOR INSULATION BY THE INSTALLATION OF BLANKETS OVER FLOOR JOISTS.
 2. INTERPOLATION SHALL BE PERMITTED FOR OPTIONS NOT SHOWN.
 3. ALL SKIRTING WALLS WHEN FRAMED USING LUMBER SHALL BE FROM PRESSURE TREATED LUMBER OR LUMBER WITH AN APPLICABLE TREATMENT AND PROTECTED FROM THE ELEMENTS PER LOCAL CODES AND LOCAL AUTHORITY HAVING JURISDICTION.











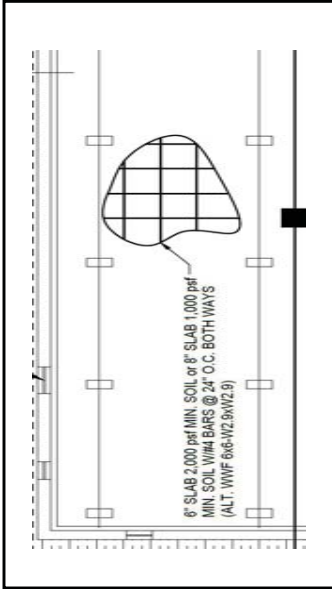


TABLE 13. FLOOR CONNECTION FASTENING SPECIFICATIONS

Fastener	Type	Size	Spacing		
			Wind Zone I	Wind Zone II	Wind Zone III
Lag screw		5/16" x 6"	36 in.	20 in.	16 in.
Wood screw		#10 x 6"	24 in.	8 in.	6 in.

* Increase fastener lengths by 2 inches for double rim joists.
 - Fastener lengths are minimum. Longer fasteners may be used as required.
 - Fastener throat diameter is minimum, however pilot holes are required for fastener diameters over 5/16"

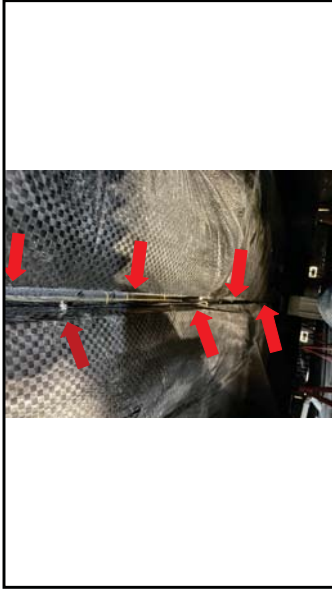
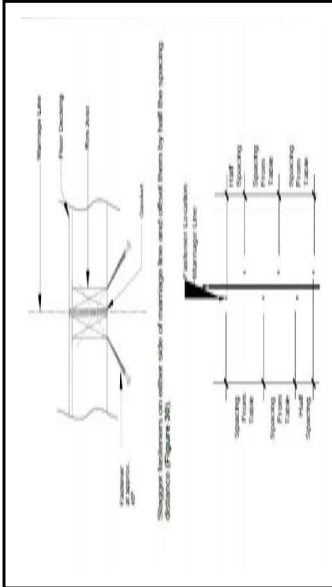
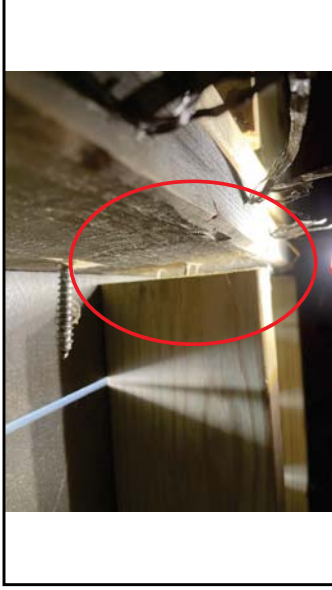


Figure 29. Floor connection through bottom board
 (Fasteners must penetrate the rim joist by a minimum of 1 1/2 inches)



6. Shim gaps. Shim any gaps up to one inch between structural elements with dimensional lumber, plywood or OSB, as needed. If any gaps exceed one inch, re-position the home to eliminate such gaps.

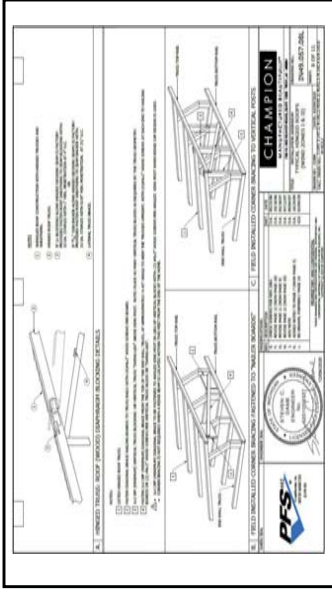
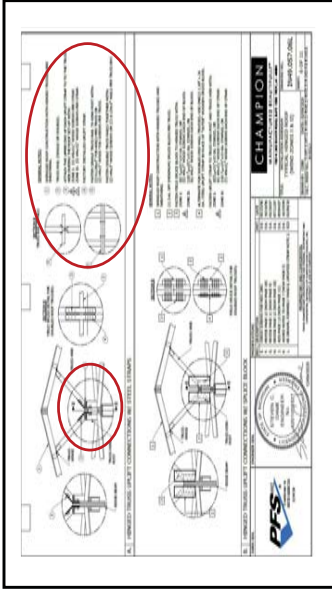






4. **Secure king posts.** Position the hinged king posts (may be a knee wall) atop the fixed king posts or against the wooden stop (Figure 20). The king posts must be secured to the roof truss above and to the wall below to prevent them from coming loose as a knee wall stored in the roof cavity. Position them as needed to level the roof, aligning each king post with the king post directly beneath it, and securing it in place per hinged roof truss installation addendum.

The diagram illustrates the installation of king posts in a hinged roof truss. It shows a cross-section of the truss with a central king post. Labels indicate the 'King Post' and 'King Post Stop' at various points. A circular inset shows a detailed view of the king post being secured to the truss member.















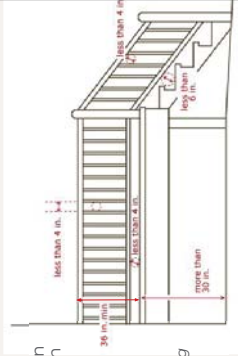
manufactured.housing@doh.ny.gov

Residential Code
R321 Guards

Decks, landing more than 30" above grade within 36" horizontally to the edge

Open sided walking surfaces

Guards meeting this drawing



Residential Code, Appendix BA:
BA 102.2 Additions

Additions shall conform to one of the following:

1. Certified under HUD Construction and Safety Standards Act
2. Designed and constructed to conform with HUD Construction...
3. Designed and constructed to conform with new construction requirements this code (RCNY)

**Residential Code, Appendix BA:
BA 102.2 Additions**

Building additions and accessory structures shall not be structurally supported by the manufactured home.

Exception. Building additions and accessory structures supported by a MH shall be in accordance with designs provided by the home manufacturer or with designs prepared by a design professional in accordance with acceptable engineering practice.

**Residential Code, Appendix BA:
BA 104.2 Alterations and repairs**

- Alterations and Repairs allowed without requiring compliance with all the requirements of the Uniform Code
 - Must conform to requirements of Appendix BO
 - Create no hazard to life, health or safety by such addition, alteration or repair
- Alterations and Repairs nonstructural in nature, not affecting structural members or fire protection may be made with materials similar to original home construction

**Residential Code, Appendix BA:
BA 104.2 Alterations and repairs**

- Exception** Installation and/or replacement of glass shall be in conformance with the fenestration rating requirements for new installations
 - Fenestration: windows, fixed or operable, doors, glass block, skylights

TABLE 104.2.1-1 OPERABLE BUILDING ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS, LP
FACTOR METHOD^a



Climate Zone	Wind Speed (mph)		Wind Pressure (psf)		Wind Directionality Factor, K _d	Exposure Category	Topographic Factor, K _t	Importance Factor, I	Minimum U-Value (BTU/hr-ft ² -°F)		Minimum R-Value (ft ² -°F-hr/BTU)	
	Basic	Design	Normal	Peak					Winter	Summer	Winter	Summer
1	35	40	15.0	18.0	0.85	1	1.0	1.0	0.15	0.15	6.67	6.67
2	40	45	18.0	21.6	0.85	1	1.0	1.0	0.20	0.20	5.00	5.00
3	45	50	22.5	27.0	0.85	1	1.0	1.0	0.25	0.25	4.00	4.00
4	50	55	27.0	32.4	0.85	1	1.0	1.0	0.30	0.30	3.33	3.33
5	55	60	31.5	37.8	0.85	1	1.0	1.0	0.35	0.35	2.86	2.86
6	60	65	36.0	43.2	0.85	1	1.0	1.0	0.40	0.40	2.50	2.50
7	65	70	40.5	48.6	0.85	1	1.0	1.0	0.45	0.45	2.22	2.22
8	70	75	45.0	54.0	0.85	1	1.0	1.0	0.50	0.50	2.00	2.00
9	75	80	49.5	59.4	0.85	1	1.0	1.0	0.55	0.55	1.82	1.82
10	80	85	54.0	64.8	0.85	1	1.0	1.0	0.60	0.60	1.67	1.67
11	85	90	58.5	70.2	0.85	1	1.0	1.0	0.65	0.65	1.54	1.54
12	90	95	63.0	75.6	0.85	1	1.0	1.0	0.70	0.70	1.43	1.43
13	95	100	67.5	81.0	0.85	1	1.0	1.0	0.75	0.75	1.33	1.33
14	100	105	72.0	86.4	0.85	1	1.0	1.0	0.80	0.80	1.25	1.25
15	105	110	76.5	91.8	0.85	1	1.0	1.0	0.85	0.85	1.18	1.18
16	110	115	81.0	97.2	0.85	1	1.0	1.0	0.90	0.90	1.11	1.11
17	115	120	85.5	102.6	0.85	1	1.0	1.0	0.95	0.95	1.05	1.05
18	120	125	90.0	108.0	0.85	1	1.0	1.0	1.00	1.00	1.00	1.00



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Residential Code, Ap
BA 104.2 Alterations ar

- Exception Install conformance wit new installations
 - Fenestration: win
 - glass block, skylights

CLIMATE ZONE	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5
Minimum outdoor design air temp	0.0	5.0	10.0	15.0	20.0
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35

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Residential Code, Ap
BA 104.2 Alterations and

- Exception Install conformance wit new installations
 - Fenestration: wind
 - glass block, skylights




CLIMATE ZONE	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5
Minimum outdoor design air temp	0.0	5.0	10.0	15.0	20.0
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35
Minimum outdoor design wind speed	15	20	25	30	35
Minimum outdoor design wind direction	15	20	25	30	35

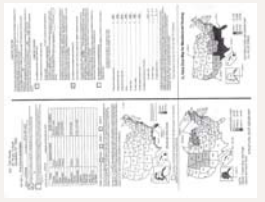
Installation Instructions Getting Started

Locate the Data Plate

Confirm Information

Equipment Data

Design Data



HUD Data Plate
 Manufacturer Info
 HUD Label
 Serial Number
 Formaldehyde

MFG: Titan Homes
 851 Route 12, South
 Slingerland, NY 13465

UNIT SER # 019-000H-A004988A #01 GAL, NT A1931222

MODEL # EPB144

Formaldehyde
 VOCs

DATE OF MFG: 2/22/2019 "VERIFIED APPROVED BY PPE"

HUD Data Plate
 Manufacturer Info
 HUD Label
 Serial Number
 Formaldehyde

MFG: Titan Homes
 851 Route 12, South
 Slingerland, NY 13465

UNIT SER # 019-000H-A004988A #01 GAL, NT A1931222

MODEL # EPB144

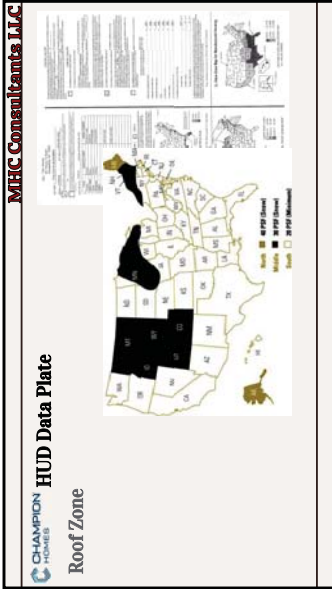
Formaldehyde
 VOCs

DATE OF MFG: 2/22/2019 "VERIFIED APPROVED BY PPE"

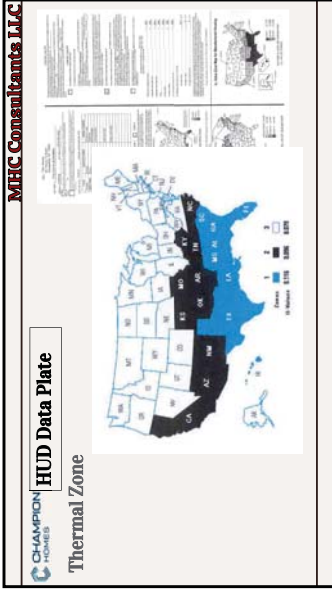
CHAMPION HOMES **HUD Data Plate**
 Confirm Wind Zone

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Zone 1 Zone 2 Zone 3



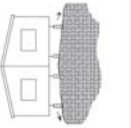
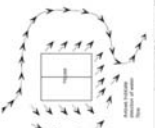




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Installation Instructions
Prepare the Site

- Crown site away from foundation
 - minimum slope of 1/2" per foot for first ten feet
- Direct runoff away from the home

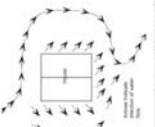



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Installation Instructions
Prepare the Site

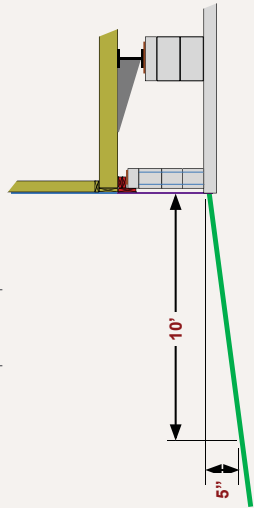
- Crown site away from foundation
 - minimum slope of ten feet
- Direct runoff away the home

Site drainage. Moisture under the home can result in mold, rot, and other damage to the floor system and other parts of the home. Failure to provide adequate drainage can result in moisture-related problems such as mold, mildew, and erosion.



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...minimum slope of 1/2" per foot for first ten feet...





**Installation Instructions
Determine Soil Conditions**

Soil Type



Soil Bearing Capacity

Default capacity: 1500 psf,
unless site-specific
information requires lower
values



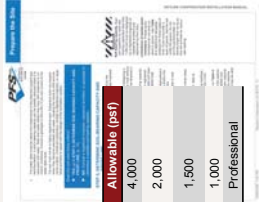
**Installation Instructions
Determine Soil Conditions**

Soil Type



Soil Bearing Capacity

Default capacity: 1500 psf,
unless site-specific
information requires lower
values



**Installation Instructions
Determine Soil Conditions**

Soil Bearing Capacity

Soil Type (and classification)

Allowable (psf)

Rock or hard pan (class 1)	4,000
Sandy gravel and gravel; very dense and/or cemented sands; coarse gravel/cobbles; preloaded silts, clays and coral (class 2)	2,000
Sand; silty sand; clayey sand; silty gravel; medium dense coarse sands; sandy gravel; very stiff silt; sand clays (class 3)	1,500
Clay sandy clay; silty clay; clayey silt (classes 4A & 4B)	1,000
Uncompacted fill; peat; organic clays (class 5)	Professional

Installation Instructions Determine Soil Conditions

Soil Bearing Capacity

Soil Type (and classification)

Rock or hard pan (class 1)
 Sandy gravel and gravel; very dense an
 course gravel/cobbles; pebbled silts.
 Sand; silty sand; clayey sand; silty grav
 sands; sandy gravel; very stiff silt, sand
 Clay sandy clay, silty clay, clayey silt (cl
 Uncompacted fill, peat, organic clays (cl

Soil. Inadequate soil bearing capacity or a support system mismatched to the soil characteristics can result in excessive or differential settlement of the home, to go out of level, resulting in jammed doors and windows, cracks in finishes and ruptured plumbing connections.

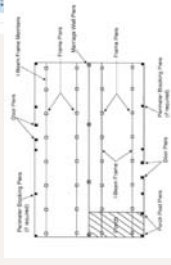
Pocket Penetrometer

The instrument should not be used for obtaining foundation design data.



Installation Instructions Install Footings

Determine Pier Locations using Instructions

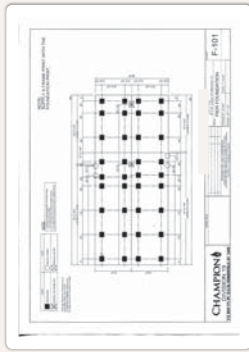


Install Footings



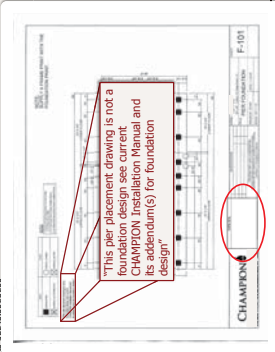
Installation Instructions
Install Footings

Determine Pier Locations
using Instructions



Installation Instructions
Install Footings

Determine Pier L



Installation Instructions
Install Footings

Undisturbed soil
At/below Frost Line
Level, flat smooth

- Place the bottom of footings on undisturbed soil or fill compacted to at least 90% of its maximum relative density.
- Remove all debris from the surface of footings in accordance with any LALJ requirements (see Prepare Site, p. 13). Place the bottom of the footings below the frost line (measured from the ground surface) and smooth.
- Make sure the top surface of the footing is level, flat, and smooth.



Installation Instructions
Install Footings

Determine Pier Loads (Frame – no perimeter blocking required)

Support Spacing	Roof Load zone and max. section width					
	South (20psf)		Middle (30psf)		North (40psf)	
12ft	2490	2820	3140	2810	3170	3520
4ft	3730	4230	4710	4210	4700	5200
8ft	4980	5640	6270	5610	6340	7000
10ft	6220	7040	7840	7010	7920	8750

Installation Instructions
Install Footings

Determine Minimum Footer Size for Square & Rectangular Shapes
(Default Soil Capacity)

6340

Soil Bearing Capacity	Min. Footing Area (sq. in.)	8.416 single stack		16x16 double stack	
		Min. Footing Size (in.)	Min. Thickness	Min. Thickness	Max. Capacity
1500	256	16x16	6	6	2660
	384	24x16	6	6	4000
	576	24x24	8	6	6000
	1024	32x32	12	8	10660

Installation Instructions
Install Footings

Footer size 32" x 32" = 1024 in²



6340

Installation Instructions

Install Footings

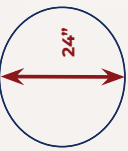
Determine Minimum Footer Size for Circular Shapes
(Default Soil Capacity)

Soil Bearing Capacity	Min. Footing Area (sq. in.)	Min. Footing Dia. (in.)	8x16 single stack		16x16 double stack	
			Min. Thickness	Max. Capacity	Min. Thickness	Max. Capacity
254	18	18	6	2650	-	-
452	24	24	"	4710	6	4710
615	28	28	"	6410	"	6410
800	32	32	"	8000	"	8370

Installation Instructions

Install Footings

Footer size 24" round



24" Diameter equivalent
3.14*12²= 452 sq.in.



Installation Instructions

Footer Size

452 sq.in

Soil Bearing Capacity	Min. Footing Area (sq. in.)	Min. Footing Dia. (in.)	8x16 single stack		16x16 double stack	
			Min. Thickness	Max. Capacity	Min. Thickness	Max. Capacity
254	18	18	6	2650	-	-
452	24	24	"	4710	6	4710
615	28	28	"	6410	"	6410
800	32	32	"	8000	"	8370

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Installation Instructions

Install Footings
(Frame - no perimeter blocking required) Portion of Table 6 shown.

Support Spacing	Roof Load zone and max. section width						
	South (20psf)	14ft	16ft	17ft	Middle (30psf)	14ft	16ft
4ft	2490	2820	3140	2810	3170	3170	3520
5ft	3110	3520	3920	3510	3960	4400	4900
6ft	3730	4230	4710	4210	4760	5270	
8ft	4980	5640	6270	5610	6340	7030	
10ft	6220	7040	7840	7010	7920	8790	

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24"

Soil Bearing Capacity	Min. Footing Area (sq. in.)	Min. Footing Dia. (in.)	8x16 single stack		16x16 double stack	
			Min. Thickness	Max. Capacity	Min. Thickness	Max. Capacity
Re-evaluate Soil Bearing Capacity 1500	254	18	6	2650	-	-
	452	24	"	4710	6	4710
	615	28	"	6410	"	6410
2500	800	32	"	8000	"	8370
	254	18	6	4410	-	-
	452	24	"	7850	6	7850
	615	28	"	8000	"	10690
	800	32	"	-	"	13960

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Installation Instructions

Pier Construction

8x16 Single Stack to 36"
16x16 Double Stack to 67"
